
Landscape and Site Elements

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These guidelines for the Tampa Heights Historic District are intended to supplement the existing City of Tampa Code which regulates site clearing, tree removal and landscaping.

It is important to maintain existing grand trees and landscaping in a rehabilitation or new construction within the historic district. The City of Tampa Code Chapter 13 should be referred to for these requirements.

Landscaping within the Tampa Heights Historic District provides visual continuity throughout the neighborhood. Large trees line many of the streets, creating canopies. Planting strips divide most sidewalks from the curbs, contributing to this almost uninterrupted greenery. It is important to maintain these planting strips. They can be planted with grass or other plant ground cover. Planting along the sidewalks should not visually obstruct or interrupt pedestrian movement along these sidewalks.

Front yards should not be fully paved either to accommodate increased parking or to eliminate lawn maintenance. This includes using materials such as turf-blocks, gravel and mulch when the intent is a total substitute for turf.

Most commonly, plants are utilized for their aesthetic qualities, but they also serve useful purposes such as shading and climate control, privacy, erosion control and wind resistance. Landscaping and site details within the historic district must conform to the requirements of the City of Tampa Code governing trees, tree removal, site clearing, and landscaping. The Code also provides lists of appropriate trees and landscaping for various uses. Planting varies within the district; however, plant materials should be chosen to be similar to those used along the streetscape, and within the district. Landscape elements are important to the overall character of Tampa Heights and should be considered as a part of any site rehabilitation or new construction.

Where vacant sites occur within the district, visual continuity should be maintained by means of a continuous hedge, fence or retaining wall, similar to that used on adjacent or nearby occupied sites. These open lots can be “softened” by this treatment of the sidewalk edge.

Landscaping will be reviewed by the A.R.C. as part of new construction and parking.

The A.R.C. reviews request for the removal of grand trees within the Historic District.

The A.R.C. suggests the following for general landscape and site elements.

Suggested Treatments

Design landscape elements to be a continuation of landscape elements on adjacent sites.

Continue the planting strip of trees at the street edge.

Use landscape elements to buffer parking and service areas of the building.

Use landscape elements which accent the scale, proportion and massing of a building.

Place landscape elements to enhance and continue the pedestrian scale that is present along the streets in Tampa Heights Historic District.

Retaining Walls

Walls which retain the earth between differing grade elevations are prevalent in the historic district, especially along the sidewalks. Brick, stone and rusticated masonry (a cast concrete product formed to look like rough cut stone) walls with concrete copings (a top course of a wall) used to finish at the top are the most common.

These walls vary in height along the streets due to changes in grade and aesthetic considerations. It is important to maintain the height and consistency of these walls along the street.

A Certificate of Appropriateness is required for these modifications. The A.R.C. will review changes to existing walls and the construction of new walls.

It is Permissible to...

Maintain and repair existing retaining walls in areas where they are present.

Design compatible retaining walls for new construction when they are present on adjacent sites.

Urns and Planters

Many of the original urns and planters are still intact on porches and balconies and in the streetside yards throughout the district. These planters are desirable because they enhance the architecture and provide historic character to the buildings.

It is important to retain original planters and urns wherever possible.

The introduction of rough-sawn planters or stained or unfinished wood planters is not appropriate for use on sites where contributing structures are present.

A Certificate of Appropriateness is not required for these modifications; however, the A.R.C. suggests the following:

Suggested Treatments

Maintain and repair existing urns and planters.

Use contemporary urns and planters which capture the character of Tampa Heights without being overly decorative.

Avoid urns and planters which are not characteristic of the area, for example, rough-sawn wood or wrought iron.

Parking

Parking requirements for properties within the district are set forth in the City of Tampa Zoning Code. Additionally, standards for screening for these parking lots and parking spaces are provided in the City of Tampa Landscape Code.

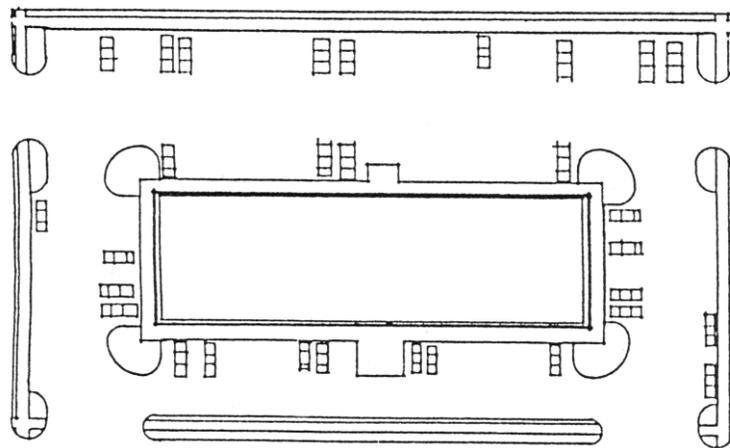
These guidelines are intended to strengthen the district in retaining its visual character and appeal through careful screening of parking by the buildings themselves, and by landscaping, fencing and walls.

Because of the negative visual impact of vehicles and machinery adjacent to historic fabric, every attempt should be made to obscure parking from the view of pedestrians by the careful placement of the buildings on the site, landscaping, fencing, walls and general arrangement of the site. Parking design which surrounds a building within the historic district is not permitted as it destroys the view of the building and inhibits pedestrian access.

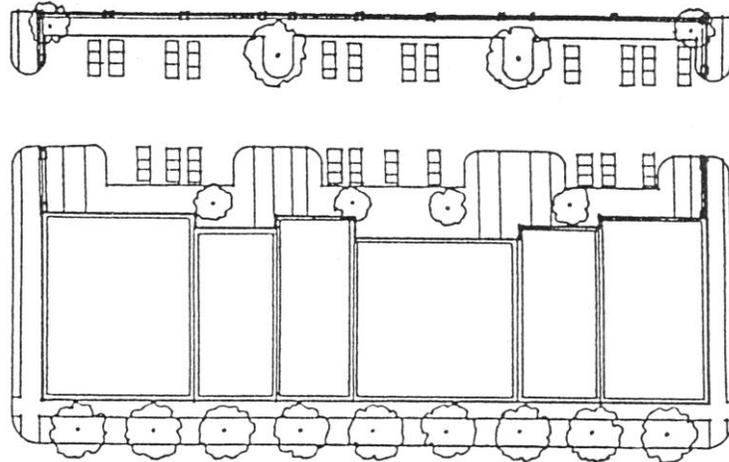
A building with residential character should maintain planting in front of the building on the primary street; parking should be limited in front of buildings of residential character.

These standards go beyond the standards in other areas of the City of Tampa to assure the protection of the character of the Tampa Heights Historic District.

Commercial Parking Arrangements



Inappropriate: Unscreened parking surrounds building.



Appropriate: Landscaping and walls obscure parking from pedestrian's view.

A Certificate of Appropriateness must be applied for from the A.R.C. for any new parking within the historic district. A Certificate of Appropriateness may be issued by the Administrator of the A.R.C. after staff review of the item.

It is Permissible to...

Provide parking to meet the City of Tampa Zoning Code which does not distract from the visual character of the Tampa Heights Historic District.

Screen parking from the street with landscaping, fencing, walls or buildings.

Design all parking to maintain the character of adjacent front yards.

It is Not Permissible to...

Place parking completely around a building.

Place parking in front of a building without screening it from public view.

Place parking in front yards in a residential area.

Pavement, Driveways and Curbs

It is important to maintain the original sidewalks wherever possible. Where new driveways are proposed, or where paving is to be disturbed, the replacement driveway or paving should match the design of the original.

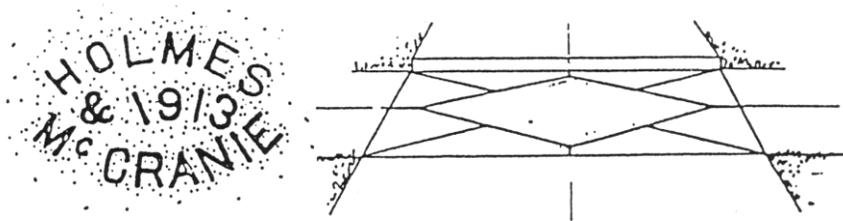
Driveways may be modified where necessary but must meet the City of Tampa Transportation Division's requirements for size and location. Concrete aprons and concrete ribbon drives are appropriate for use within the district and are preferred.

Other forms of paving such as brick pavers and hexagonal pavers and quarry tile may be used within the interior of lots as access to buildings. Do not use pebble surface materials or asphalt where it is visible from the street. Do not pave front yards with concrete, asphalt or any similar material in the historic district. This includes using paving materials such as turf-blocks, gravel and mulch, when the intent is a total substitute for lawns.

Curbs (granite or concrete) and other paving within the right-of-way are maintained by the City of Tampa. The City of Tampa Transportation Division should be notified if these are to be altered or repaired. Where granite curbs exist they must be maintained.

Drives and Walkways

A modification, replacement or addition of a driveway or pavement will require a Certificate of Appropriateness prior to the commencement of the construction. The Administrator of the A.R.C. shall review the application for compliance with the design guidelines. If the application is deemed by the Administrator to contain minor modifications or appropriate replacements, the Administrator may issue the Certificate of Appropriateness. If the application includes work other than minor modifications, repairs or appropriate replacements, the A.R.C. shall review the application at the regular public hearing for a decision on the Certificate of Appropriateness.



Ribbon driveways, scored concrete and sidewalk stamps are typical of the area.



It is Permissible to...

Maintain the original sidewalks, driveways and curbs where possible.

Develop new sidewalks, site paving and driveways to be similar in material and appearance to original sidewalks, site paving and driveways in Tampa Heights.

It is Not Permissible to...

Use asphalt or concrete paving as a substitute for lawns and planting.

Use uncharacteristic paving materials such as pebble surface material or asphalt where it will be visible from the street.

Fences and Walls

The fences in the historic district vary from one architectural style to another. The fence materials that were installed during the Tampa Heights period of historic significance include various wood designs, brick and wrought iron. When brick or stone was used on the building, brick or stone walls were commonly used. There are also some examples of original wrought iron fences. Older buildings whose ground levels were constructed of rusticated masonry (cast concrete imitating stonework) were also common within the district, and this same rusticated masonry was repeated in pillars and portions of fences and retaining walls.

It is important to maintain the original historic fences and walls in Tampa Heights. When a fence or wall remains from Tampa Heights period of historic significance, the fence or wall shall be restored using original materials and original construction techniques.

When new fences are introduced, materials that are compatible with the style, texture, or exterior materials of the primary building on the site should be used. Elevations that front a street—either a front or side yard—shall be constructed of a material such as wood, masonry, vinyl, or wrought iron. Rear yards may employ vinyl-clad chain link. The vinyl-clad chain link shall not be permitted on that portion of a corner lot that faces a public street that is paved and in use. Vinyl-clad chain link fences may be used in the rear yard and shall not be installed beyond the rear building façade. Fence height should conform to City of Tampa Codes. Fences or walls along the front yard and along a corner yard along the building facing a street shall be no higher than four feet; beyond the rear of the building, the fence height may increase to the maximum height allowed in the Tampa Zoning Code.

A modification, replacement or addition of a fence or wall will require a Certificate of Appropriateness prior to the commencement of the construction. The Administrator of the A.R.C. shall review the application for compliance with the design guidelines. If the application is deemed by the Administrator to contain minor modifications, repairs or appropriate replacements, the Administrator may issue the Certificate of Appropriateness. If the application includes work other than minor modifications, repairs or appropriate replacements, the A.R.C.

shall review the application at the regular public hearing for a decision on the Certificate of Appropriateness.

It is Permissible to...

Maintain existing original fences and walls.

Design new fences and walls which will be compatible with historic fences and walls in the Tampa Heights Historic District in scale, height, material, color and texture.

Design new fences and walls which will be compatible with the style or period of building to which they are being added.

Cover vinyl-clad chain link fences with landscaping.

Leave wood fences unpainted.

It is Not Permissible to...

Remove existing original fences or walls that are in good condition.

Design new fences or walls which are incompatible with the scale and height of other fences and walls in the historic district.