



# Artificial Turf Verification Statement

Revised 03/04/2025

## GENERAL INFORMATION

### ACCELA INSTRUCTIONS

Upload completed form to your Accela permit record prior to scheduling the inspection. Select document type "Other documents." Add "Artificial Turf Verification Statement" in the Document Name field.

### RIGHT-OF-WAY AREAS

Installation of artificial turf within City of Tampa right-of-way, swales, ditches, and public easement areas is prohibited.

### CONSTRUCTION PLANS

Must show the limits of any proposed artificial turf areas, with specifications/details adequate to define the proposed artificial turf system (including a construction cross-section). The plan must also include boundary survey information such as property lines, right-of-way lines, easement lines, existing and proposed grades, existing trees, drainage features, utilities, and other existing features.

## VERIFICATION STATEMENT

Permit No.: \_\_\_\_\_

On \_\_\_\_\_ (insert date), I did personally inspect artificial turf installation work at the following location at address \_\_\_\_\_

Based upon the examination, I have determined that the following artificial turf installation was performed in accordance with the Stormwater Technical Standards Manual, Tree & Landscape Technical Manual, Chapter 21 (Stormwater Code), and Chapter 27 (Tree and Landscape Code):

1) I certify this artificial turf installation is: \_\_\_\_\_ Non-Pervious \_\_\_\_\_ Pervious according to Stormwater Artificial Turf Policy

In my professional opinion, based on my knowledge, information, and belief, I certify that the above statement is true and correct.

\_\_\_\_\_  
Signature of Registered Agent

\_\_\_\_\_  
Printed Name of Registered Agent

\_\_\_\_\_  
Date

AFFIX  
NOTARY  
SEAL

STATE OF FLORIDA

COUNTY OF \_\_\_\_\_

Sworn to (or affirmed) and subscribed before me by  
means of ☐ physical presence or ☐ online notarization,  
this \_\_\_\_\_ day of \_\_\_\_\_,

by \_\_\_\_\_  
(Name of person making statement)

\_\_\_\_\_  
Signature of Notary Public - State of Florida

\_\_\_\_\_  
Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known OR Produced Identification

Type of Identification Produced: \_\_\_\_\_





# Artificial Turf Permit Application Guide

This guide contains minimum permit application filing requirements.

## GENERAL INFORMATION

- G1. Artificial Turf is NOT allowed on Right-of-Way (ROW).
- G2. Additional approval by Historic Preservation may be required if located in a historic district.
- G3. Installation of under 150 sq. ft. of Artificial Turf on private property does not require a permit.

## REGISTER WITH THE CITY OF TAMPA

- R1. Business Tax License and Workers' Compensation Insurance is required to issue a permit.

## CREATE AN ACCELA ACCOUNT

- ACA1. Visit our online permitting portal at <https://aca.tampagov.net> to create an account.
- ACA2. To assist you with account registration, please view our guidance document on how to [Create an Account](#).

## PERMITTING

- P1. For Residential and Commercial properties, apply for:
  - a. Record type – Site Plan Review (SPR)
- P2. Upon SPR approval, BLD Miscellaneous record will be generated by City of Tampa staff:
  - a. Record type – Residential Miscellaneous
  - b. A BLD record should not be submitted by the applicant
  - c. Permit type in Accela will be – Driveway, Patio Slab, Deck

## QUICK TIPS

### Applicability

This guide is applicable for commercial and residential properties.

### Registration

Email registration documents to [CSDHelp@tampagov.net](mailto:CSDHelp@tampagov.net).

### Important Note

Condos, though residentially occupied, require commercial permits!

## Important Notes for BLD record creation

- Email notification will be received by the applicant of SPR record with notice of the BLD record creation
- Turf installer should add their license to BLD record if it's not added to SPR already.
- SPR record is used for plan review purposes ONLY. Schedule inspection under BLD record for permit completion
- NOC and any required documents for inspection must be uploaded to the BLD



# Artificial Turf

## Permit Submittal Guide

### SUBMITTAL REQUIREMENTS

- S1. Site Plan
  - a. Showing lot coverage.
  - b. Boundaries.
  - c. On-site trees and proximity trees within 20 feet of the property.
- S4. Cross-section / detail on turf.

### INSPECTIONS

- I1. Only one inspection is required:
  - a. BLD Final
- I2. Ensure the following steps have been completed prior to scheduling the BLD Final inspection:
  - a. Copy of approved plan must be on site.
  - b. Artificial Turf Verification Statement must be uploaded to the record.
  - c. If “pervious” is checked, then Product Documents and FDOT Receipt of Purchase / Verification is required.
- I3. Once approved via a BLD Final inspection, the permit is complete.

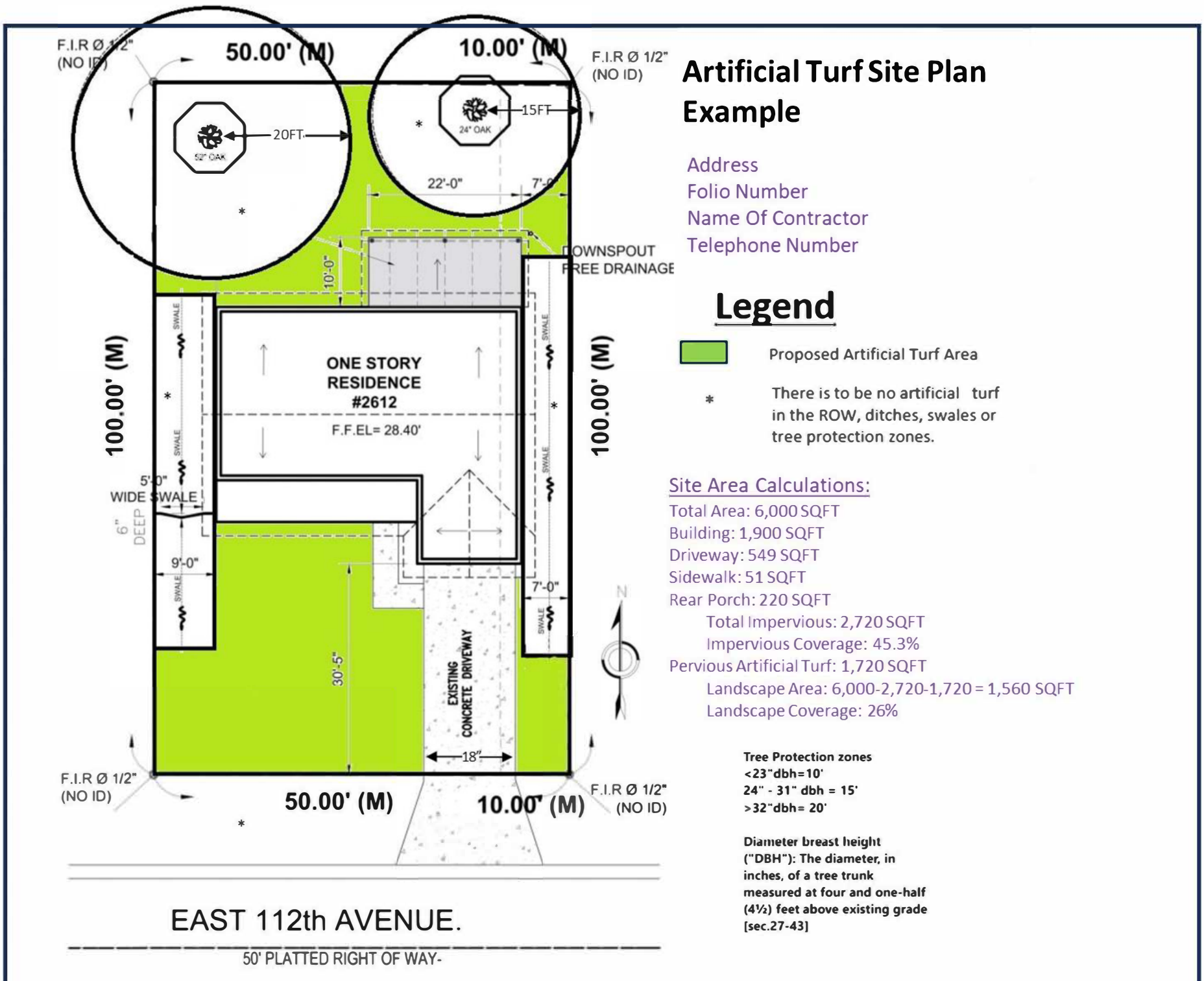
### QUICK TIPS

#### Notice of Commencement

A Notice of Commencement must be uploaded to the permit prior to the inspection if the job value greater than \$5,000.

See our [Accela Guide-Upload Notice of Commencement](#) for 24-hour assistance and immediate permit hold release!







# Artificial Turf Site Plan Example W/Pool

Address

Folio Number

Name Of Contractor

Telephone Number

## Legend



Proposed Artificial Turf Area

\*

There is to be no artificial turf in the ROW, ditches, swales or tree protection zones.

## Site Area Calculations:

Total Area: 10,533 SQFT

Building: 2,442 SQFT

Driveway: 610 SQFT

Concrete Pad: 160 SQFT

Pool Deck/Shade/Cage: 884 SQFT

Total Impervious: 4,670 SQFT

Impervious Coverage: 45.3%

Pervious Artificial Turf: 2,200 SQFT

Pool Water: 503 SQFT

Total Pervious: 2,703 SQFT

Pervious Coverage: 25.7%

Landscape Area:  $10,533 - 4,670 - 2,703 = 1,560$  SQFT

Landscape Coverage: 30%

## Tree Protection zones

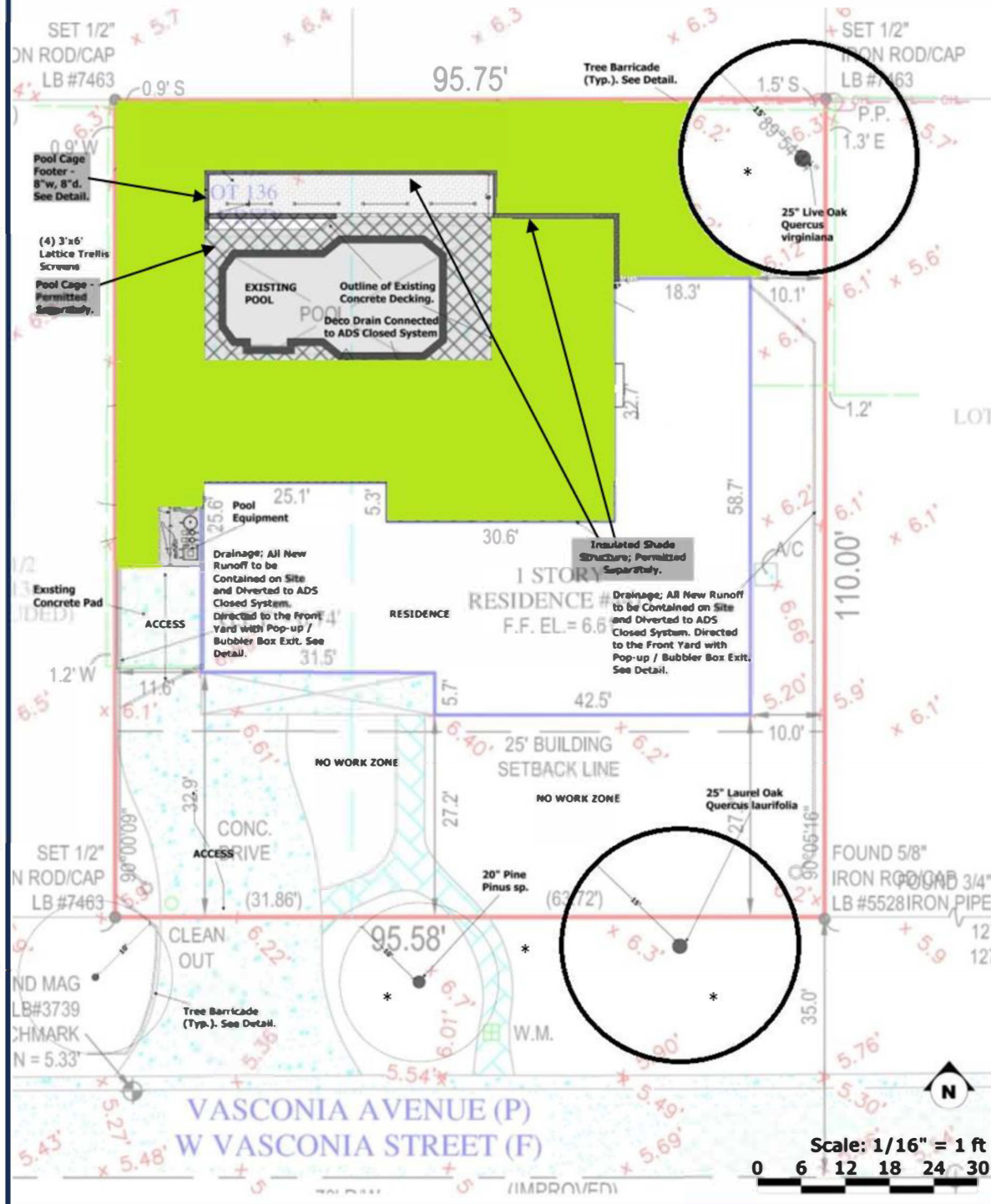
<23" dbh = 10'

24" - 31" dbh = 15'

>32" dbh = 20'

## Diameter breast height

("DBH"): The diameter, in inches, of a tree trunk measured at four and one-half (4½) feet above existing grade [sec.27-43]





26.8% PERVIOUS AREA - 2,182 SQFT

49.5% IMPERVIOUS AREA - 4,033 SQFT

24% GREENSPACE AREA - 1,932 SQFT

1,432 SQFT - ARTIFICIAL TURF

246 SQFT - POOL DECKING

542 SQFT - NATURAL SOD GREENSPACE

450 SQFT - POOL / SPA

3,787 SQFT - HOUSE / DRIVEWAY

1,390 SQFT - PINE STRAW/MULCH GREENSPACE\*

300 SQFT - GRAVEL

# Artificial Turf Site Plan Example W/Pool and Multiple Landscape Area

TOTAL AREA - 8,147 SQFT

Greenspace calculation  
(shall be 25%)

Section 27-284.3.3 (b) Table 284.3.3 [A.2] Greenspace / Landscape Area excludes the following: building footprint(s); driveways/accessways; vehicular use areas; hardscapes such as decks, swimming pools, decorative fountains, patios, and/or other impervious surfaces/areas.

Sec. 27-43 mulch or other similar materials that are primarily organic in nature are applied to improve the physical condition of the soil (ex: mulch/pine straw). Mulch helps to retain soil moisture, control erosion, inhibit weeds, and/or regulate soil temperatures.

Greenspace is synonymous with landscape area. landscape means any native or exotic tree, shrub, or ground cover held together by the roots of grass (natural sod)

\*Counted as greenspace if is used to meet the conditions from 27-43

No artificial turf inside tree protection zone

NATURAL SOD +  
PINE  
STRAW/MULCH  
= 1,932 SQFT

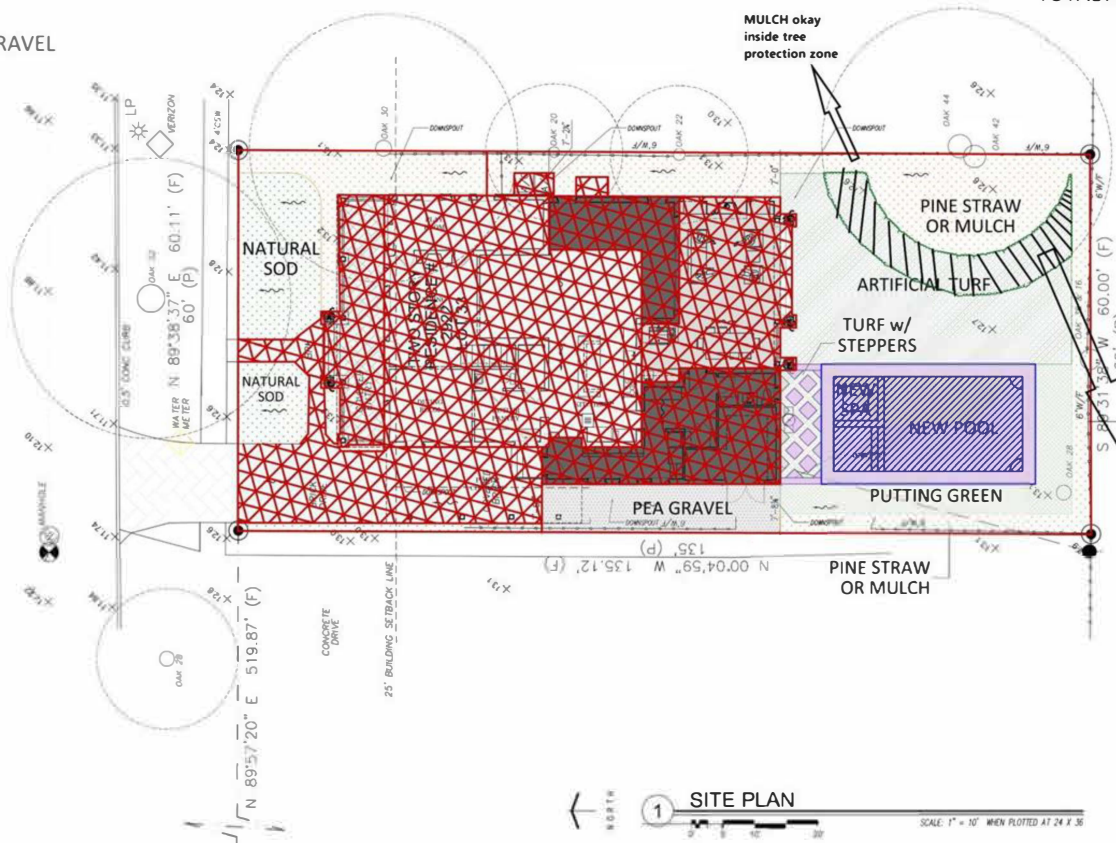
TOTAL GREENSPACE/TOTAL  
AREA: 24%

Greenspace needs  
to be 25% or more

## Tree Protection zones

<23" dbh = 10'  
24" - 31" dbh = 15'  
>32" dbh = 20'

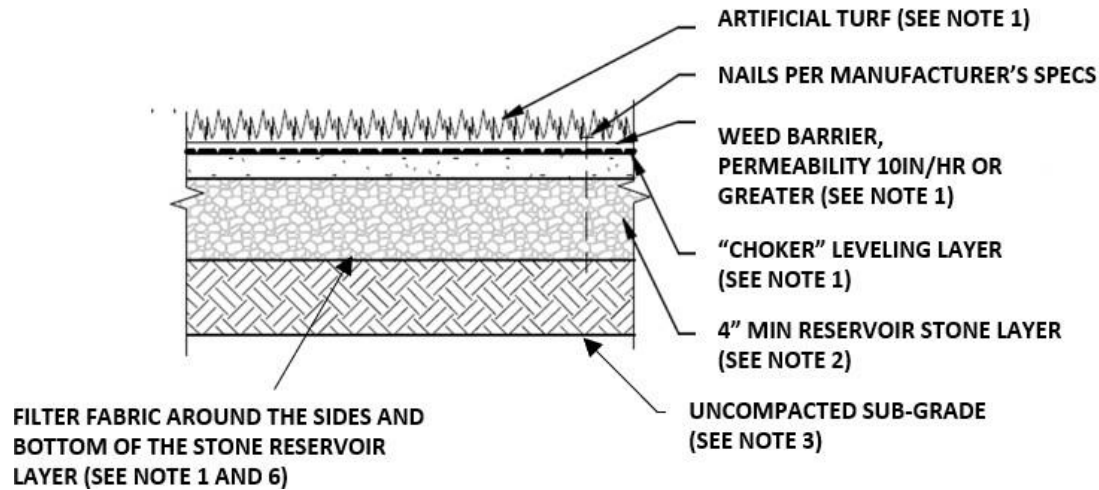
Diameter breast height  
("DBH"): The diameter, in  
inches, of a tree trunk  
measured at four and one-half  
(4½) feet above existing grade  
[sec.27-43]





# Typical Pervious Artificial Turf System

(For Review Aid Purposes Only, Not for Design)



## NOTES:

1. The artificial turf top layer and any filter fabric layers, choker layers or other layers have a permeability of 10IN/HR or greater. No impermeable layers such as visqueen.
2. A reservoir layer is provided consisting of 4" or more of clean, washed stone that consists of granite, limestone or crushed concrete. It must meet FDOT #4, #57 or #89 stone specifications. No screenings allowed.
3. The underlying soils must remain uncompacted.
4. To ensure adequate retention volume in the stone reservoir layer, minimum sizing is FDOT #89 stone.
5. As part of the construction inspection approval process, a copy of the aggregate testing report (from the aggregate supplier) must be provided to document the clean stone meets FDOT gradation requirements.
6. If filter fabric is proposed, as a part of the construction inspection approval process, a copy of the manufacturer's specifications must be provided to document permeability is 10IN/HR.
7. SW-TM: III.E the act(s) of stockpiling material, grading, excavating, and other act(s) affecting drainage shall not change the surface drainage patterns to the detriment of neighboring properties or public rights-of-way.
8. SW-TM: III.C Sites must be graded such that all stormwater runoff drains to the nearest public right-of-way or drainage facility without crossing or causing detrimental impact to adjacent property.
9. Properties within the Stormwater Advisory List will undergo further review by the Stormwater Engineering Division. This may generate additional conditions added to the permit record.



## **Stormwater Engineering Division**

306 E. Jackson St. 6N , Tampa, FL 33602

### **Artificial Turf Guidelines**

Date 11/09/21 (revised July 10, 2023)

#### **Purpose**

The City of Tampa Stormwater Technical Standards Manual (Section III.A) states "The developer is required to provide sufficient documentation to the permitting department to ensure the standards of this manual are being met. Documentation requirements for projects may vary due to differences in their complexity, potential offsite impacts and other factors".

To help ensure consistency in permit application reviews these guidelines are intended to clarify the key documentation requirements for projects that include proposed artificial turf areas.

#### **Right-of-Way Areas**

Installation of artificial turf within City of Tampa right-of-way and public easement areas is prohibited.

#### **Construction Plan**

- a. Must show the limits of any proposed artificial turf areas, with specifications/details adequate to define the proposed artificial turf system (including a construction cross-section). The plan must also include topographic survey information such as property lines, right-of-way lines, easement lines, existing and proposed grades, existing trees, drainage features, utilities, and other existing topographic features.
- b. Artificial turf systems may not be proposed within drainage swales/ditches.
- c. These stormwater guidelines for artificial turf do not address environmental related issues. To ensure proposed artificial turf systems will not adversely impact trees, review and approval from COT Forester Examiner is required to confirm distances and depths to tree roots.
- d. A design sealed by a Civil Engineer is not normally required for artificial turf systems, but the City of Tampa reserves the right to require a signed/sealed engineered plan if warranted.

#### **Design Considerations**

- a. These stormwater guidelines are based on artificial turf geotechnical evaluations prepared by **Tierra Inc.** (dated July 5, 2023) and by **Anticus LLC** (dated May 12, 2022) and on FDOT standards.
- b. Any 'infill' material must be clean silica sand and/or zeolite; rubber or any other infill material is not permitted. Must be designed to prevent washing away of any infill material. Must comply with any Federal and State standards related to heavy metal content and other potential contaminants.
- c. Design and installation must be in accordance with manufacturer's specifications/recommendations.



## **½" Retention for Residential Lots**

The City of Tampa Stormwater Technical Standards Manual (Section IV.B.2) requires ½" retention be provided for residential lots that exceed 50% total lot impervious coverage. When computing the total lot impervious percentage, proposed artificial turf areas are considered Pervious, or Impervious:

### **Pervious Artificial Turf Systems**

Artificial turf areas that meet the following criteria are considered Pervious (0% impervious) when computing the total lot impervious percentage:

- a. The artificial turf top layer and any filter fabric layers, choker layers, or other layers have a permeability of 10 inches/hour or greater. No impermeable layers such as visqueen.
- b. A reservoir layer is provided consisting of 4" or more of clean stone.
- c. 'Clean stone' consists of granite, limestone, or crushed concrete that is washed and meets FDOT #4, #57 or #89 stone specifications. No screenings allowed.
- d. To ensure adequate retention volume in the stone reservoir layer, minimum sizing is FDOT #89 stone.
- e. The underlying soils must remain uncompacted.
- f. As part of the construction inspection approval process a copy of the aggregate testing report (from the aggregate supplier) must be provided to document the clean stone meets FDOT gradation requirements.
- g. If filter fabric is proposed, as part of the construction inspection approval process a copy of the manufacturer's specifications must be provided to document permeability is 10 inches/hour or greater.

### **Impervious Artificial Turf Systems**

Artificial turf systems that meet the following criteria are considered Impervious (100% impervious) when computing the total lot impervious percentage:

- a. There are impermeable layers such as visqueen or layers with permeability LESS than 10 inches/hour.
- b. A stone reservoir layer is provided that includes screenings or that does NOT meet FDOT specifications for #4, #57, or #89 stone.