Contract Administration Department



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ADDENDUM 7

DATE: June 29, 2023

Contract: 22-C-00001; Tampa Multimodal Network and Safety Improvements Project (West River

District BUILD)

Item 1 - Clarification - MBD form must be submitted with the technical proposal so that scoring can be completed before the price proposal submission.

Item 2 - Inquiries followed by responses follow:

From: Jordan Robbins < jrobbins@pcl.com>
Sent: Wednesday, June 21, 2023 1:35 PM

- 1. The design criteria for Tony Jannus Park states to "Construct 15' minimum width trail between pedestrian bridges". The criteria also asks to "remove redundant pavement throughout the park". In an effort to provide the best value to the City, would it be acceptable to modify/supplement the existing 10' wide trail along the seawall and/or bifurcate the trail in order to preserve the existing pavement? This would be in alignment with the design criteria language added via Addendum 6.
 - R: Yes, it is acceptable to modify/supplement the existing 10' wide trail in Tony Janus Park, to create the required 15'- wide trail connecting the two pedestrian bridges, per Addendum 6's Design Criteria PA6v2. This trail should not be bifurcated. Additionally the City prefers the existing [redundant] sidewalk in Tony Janus Park to be removed and replaced closer to the roadway.
- 2. During the University of Tampa school year, the staircase access to Plant Park from Kennedy Street is blocked using the wrought iron gates. During construction, will these gates remain locked during the school year?
 - R: The City is the owner of Plant Park which the Univ. of Tampa leases on a long term basis. Access will be coordinated as needed.
- 3. The Tampa Preparatory School (TPS) section of the design criteria does not mention installation of any fencing at the easement line, however the R1 Concept Drawings state to "Install 8' Decorative Metal Fence and Gate". We understand there is an existing 6' fence that is currently located within the City's easement, and the 2010 Greenway Trail concept drawings (Reference R14) show to "relocate/add fence at easement". Please clarify the D-B Firms requirement with regards to relocation or replacement of the existing fence.

R: Please ignore the reference documents notations to install/relocate fence at this property. The D-B firm has no fencing requirement at Tampa Preparatory School, the City Parks & Recreation Dept. will remove the existing fencing and install new fencing. Until this school is completely secured from the

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- public easement, all Design-Build team personnel and subcontractors are required to undergo a Level 2 screening before accessing the property of this K-12 school.
- 4. The design criteria for the University of Tampa states to "attempt to integrate additional security and safety features in the Women's Dormitory area". Has there been any discussions with the University on the expectations from this project?

R: Yes, the City has had numerous discussions with the Univ. of Tampa on this project. The Technical Proposals should include creative suggestions for added security/safety of McKay Hall (the women's dormitory). The University of Tampa stakeholder will have the opportunity to review your suggestions. The Univ. of Tampa desires that the proposed trail lighting (Univ. of Tampa LED Standard) does not permit light to enter the dormitory rooms of McKay Hall. The Univ. of Tampa also prefers riverwalk trail work near McKay Hall (the women's dormitory) be scheduled for the summer months.

From: Jordan Robbins < jrobbins@pcl.com>
Sent: Tuesday, June 20, 2023 12:49 PM

1. Please confirm that the City of Tampa remains responsible as the generator for all pre-existing hazardous materials found on site, will sign any applicable waste manifests and except for Contractor's own negligence, will be responsible for any pre-existing hazardous materials.

R: No, see Attachment P-A16, Specific Provision, SP-4.07 IDENTIFIED AREAS OF CONTAMINATION. The Contractor and his own firm or subconsultant Contamination Assessment/Remediation Contractor – CAR Contractor will be responsible for any/all contamination encountered.

- 2. Please confirm that the Liquidated Damages as stipulated on the Public Construction Bond Form of \$500 per day is the sole and exclusive remedy for delay.
 - R: Liquidated Damages per calendar day on this federally funded project are \$10,203 plus 0.00005 of any amount over \$20 million (Round to nearest whole dollar). See SPT-8.10 in the Division 1 Specifications included in Attachment P-A16. Delays beyond substantial completion will cause the City to lose eligibility for reimbursement of grant funds. D-B Team to provide sufficient labor, materials and equipment to complete the work by the substantial completion date of 12/31/2026.
- 3. Will a standard permit or letter of permission be required from the Army Corp?
 R: The Design-Build firm is responsible for all coordination and permitting. See the Pre-Permitting Agencies Meeting Notes dated 11/10/22, reference document R11, it mentions a letter of permission but the regulatory agency will decide what is required after the D-B firm submits their permit application and design.
- 4. Will a benthic survey, to confirm there are no resources/SAV in the priority areas of the living shoreline, be performed by the City within the 2023 growing season, so that it can be used for the D-B Firm's ACOE permit application?
 - R: The City will not perform a confirmation benthic survey. If necessary, the D-B firm will need to perform this survey in the areas they propose for living shorelines.
- 5. Please confirm that the D-B Firm does not have to design/permit for the docking of any water taxi.
- 6. R: Correct, the D-B firm does not have to design/permit for the docking of any water taxi.
- 7. Does the City have access to the pre-application meeting minute notes for the pedestrian bridge proposed under the Kennedy Blvd Bridge? If so, can these be shared with the shortlisted firms?

R: No, the City does not have this information and cannot provide to either bidder.

From: Jordan Robbins < jrobbins@pcl.com Sent: Tuesday, June 20, 2023 2:03 PM

1. The design criteria for the Bayshore Blvd and Platt Street Intersection Improvements does not state any additional considerations regarding the Platt Steet Bridge bridge tender parking at the NE corner of the intersection/along Bayshore. In the R1 Concept Drawings, it appears the curb line is moved westward, resulting in removal of the bridge tender parking. Additionally, a callout is suggesting to "Install Grass" in this area. Please confirm the City is planning to remove the Platt Street bridge tender parking along Bayshore Blvd.

R: Designs should include three (3), parallel parking spots north of the crosswalk at this location, for City bridge weekly bridge maintenance vehicles and equipment. If there is remaining area, grass can be installed north of these parking spots. If necessary, the proposed roadside sidewalk may be located slightly to the east, further into Tony Janus Park to accommodate.

From: Jordan Robbins <u>irobbins@pcl.com</u> Sent: Friday, June 16, 2023 4:34 PM

1. Please reference Section V.F (Survey) of the RFP. Paragraph 1 states that "The D-B Firm shall perform all surveying (Terrestrial, Marine, Mobile and/or Aerial)...necessary to complete the project". This indicates that Mobil LiDAR and Aerial mapping (photogrammetry/LiDAR) are anticipated to be utilized by the D-B Firm. However, Paragraph 2 of Section F contradicts this by stating that "No scanning, LIDAR or GPS may be used for data collection." Please confirm that it is acceptable to use Mobil LiDAR and Aerial mapping as long as the survey data meets the rest of the requirements from Paragraph 2 (i.e. NAD 83/90, NAVD 1988, AutoCAD Civil 3D format, etc).

R: The City has had concerns over LiDAR and other collection methods in the past. However, as this is a design build, the collection method should be determined by each individual team. Therefore, those methods are acceptable.

Also, any follow up on the question below? I realized that the Segment 6 trail alignment along Cruis A Cade/North Blvd was provided in the R1 folder, but we still are requesting clarification on if this alternate trail will be desired by the City. Please also advise on the status of the City RoW/CADD file.

R: Yes, please include the Segment 6 Alignment option, adjacent to North Boulevard, in your Technical Proposal. We have attached the sketch and legal that will accompany the development agreement. However, the agreement has not yet been approved by Council. See response to number 2., below.

From: Jordan Robbins jrobbins@pcl.com
Sent: Monday, June 12, 2023 3:09 PM

1. In the Ridgewood Park section of the design criteria, it states that City may direct the Design-Builder to construct the trail along N. Boulevard and to refer to Reference R1. Reference R1 does not show a concept of the trail along N. Blvd. Has the City determined if this alternate trail location will be desired? If so, can the City provide additional detail showing the intended location along N. Blvd? There are utility conflicts and elevation/existing grade challenges along both the east and west sides of N. Blvd., so the pricing will be greater for this alternate option.

R: I see you located the Preliminary proposed trail alignments west of North Boulevard, in R11. Yes, please include the Segment 6 Alignment option, adjacent to the west side of North

Boulevard, in your Technical Proposal. The Draft easement for the proposed trail alignment on the west side of North Boulevard is attached. Existing trees in this area, are to be protected/retained to the maximum extent possible.

2. In one of the ATC Submission meetings, it was mentioned that the City's RoW design/CADD file would be provided to the shortlisted teams. When can we expect this file to be sent to PCL?

R: The project ROW Map is not yet available. Please utilize the approximate ROW based on the available survey info, existing easements and deeds as provided in Attachments P-A12. The City will provide when available.

From: Robles, Ivan S. < lvan.Robles@haskell.com>

Sent: Tuesday, June 13, 2023 11:12 AM

1. Trail Segments

a. Per the Concrete Pavement - Multi-Use Trail typical section (Attachment P-A13), sub-grade should be compacted to 98% of T-180. We request that the City consider following FDOT Specification 522 for Concrete Sidewalk and Driveways and allow sub-grade under reinforced concrete trail segments to be compacted to 95% of AASHTO T99 density?

R: Yes, the City Concrete Pavement Detail Note #2 states that preparation and placement should be per FDOT Specifications 522 and 346. Spec 522 states that the compacted area under sidewalks meet a density minimum of "95% of AASHTO T99". This is allowable.

2. Living Shoreline

- a. As we understand the RFP, the performance specifications for the living shorelines are:
 - i. 1,500 linear feet minimum of living shoreline should be incorporated into the project.
 - ii. Planting zones a minimum of 10-feet wide with native, littoral/intertidal vegetation.
 - iii. A plant warranty/establishment period of 6 months, other living shoreline elements would fall under the standard 12-month warranty period.
 - iv. A maximum overall width from seawall of 30-feet.
 - v. Please confirm there are no other design parameters for the living shoreline portion of the project.

R: Most of these are correct. Item iii. - Living Shoreline System also requires D-B Team to, "Provide a maintenance plan for City staff or contractors to realize the design intent and provide long term maintenance through maturation." Item iv. - The Living Shoreline design parameter for this project is a minimum length of 1,500 LF. The 30' overall width is a USACE recommendation based on recommended permit type. The D-B Firm shall utilize professional expertise and best practices to meet the design criteria.

b. On previous living shoreline projects for the City of Tampa, a "no-rise certification", "wave run-up analysis" and "slope-stability analysis" were not required for the living shorelines design and permitting. Please confirm that the same holds true for the living shoreline portion of this project as well.

R: The Design-Build firm is required to coordinate and obtain all necessary permits. The regulatory agencies will inform you of what they currently required. See the "Pre-Permitting Agencies Meeting Notes" in reference document, R11. If not previously required, unlikely required for this project.

c. Is there a design life or return period storm that the living shoreline should be designed to withstand?

R: The living shoreline system should be designed to withstand physical and environmental conditions on site. Technical scoring will consider the durability of the proposed system. The permitting agencies may also have durability / stability requirements.

- d. Please verify that if a storm, or other unforeseen event greater than the design storm criteria, occurs during the warranty period that this will fall under force majeure and the contractor will not be responsible for rehabilitation or reinstallation of the living shoreline elements under the warranty provision.
- R: Section 10.3 of the City's Design-Build provides:

10.3 Extension of Time. If such an application is made, the Firm shall be entitled to an extension of time for delay in completion of the services should the Firm be delayed in the commencement, prosecution of completion of any part of said services by any act or delay of the City, or by acts or omissions of other contractors on this Project, or by a riot, insurrection, war, pestilence, epidemic, acts of public authorities, fire, lightning, hurricanes, earthquakes, tornadoes, floods, extremely abnormal and excessive inclement weather as indicated by the records of the local weather bureau for a five (5) year period preceding the date of the Agreement, or by strikes, or other causes, which causes of delay mentioned in this Agreement, in the reasonable opinion of the City, are beyond the expectation and control of the Firm.

The fixed infrastructure (e.g. boulders) should not be significantly impacted by storm events per the anticipated permit requirements.

- e. Is the City requiring the submittal of numerical model results, monitoring data or empirical calculations to quantify reductions in wave reflection, flood impacts and improvements to water quality?
- R: No, It is assumed that living shorelines will provide these benefits without negatively impacting the existing conditions. The satisfaction of the regulatory agencies' requirements and the acquisition of the required permits is all the City will require.
- f. Are there metrics related to the living shoreline that must be met to satisfy the Build Grant Criteria other than those presented in P-A6?
- R: No. The Living Shoreline metric for this project is a minimum length of 1,500 LF. The 30' overall width is a USACE recommendation based on recommended permit type.

3. Plant Park Univ. of Tampa

a. The design trail criteria for the University of Tampa (UT) prescribes that, "The proposed design should attempt to integrate additional security and safety features in the Women's Dormitory area...". Please specify the types and extents of additional security and safety features the proposed design should attempt to integrate.

R: The Technical Proposals should include creative suggestions for added security/safety of McKay Hall (the women's dormitory). The University of Tampa stakeholder will have the opportunity to review your suggestions. The Univ. of Tampa desires that the proposed trail lighting (Univ. of Tampa LED Standard) does not permit light to enter the dormitory rooms of McKay Hall. The Univ. of Tampa also prefers riverwalk trail work near McKay Hall (the women's dormitory) be scheduled for the summer months.

4. Rome Avenue (Spruce St. to Columbus Dr.)

- a. Is the intention of the City for the Furniture Zone to be paved? Will a vegetative/landscape strip be allowed between back of curb and the shared use path?
- R: The furniture zone can be paved or turf as long as trees are accommodated. Any vegetative/landscape strip must be a minimum of four-feet wide.
- b. Please specify the extent of what is considered by the City to be damaged sidewalks? Will sidewalks be replaced in kind or upgraded to 6' sidewalk?
- R: Damaged sidewalks have broken panels, vertical elevation differences of more than an inch and/or non-ADA compliance and should be repaired or replace in-kind. Of note, some portions of Rome Avenue may have historic concrete squares instead of typical panels. These should be replaced in a like manner, to which they exist today.
- c. If the EOR provides a bi-directional cycle track on the east side of Rome Ave must the separator between the track and vehicle lanes be raised concrete across its full 3-ft width?

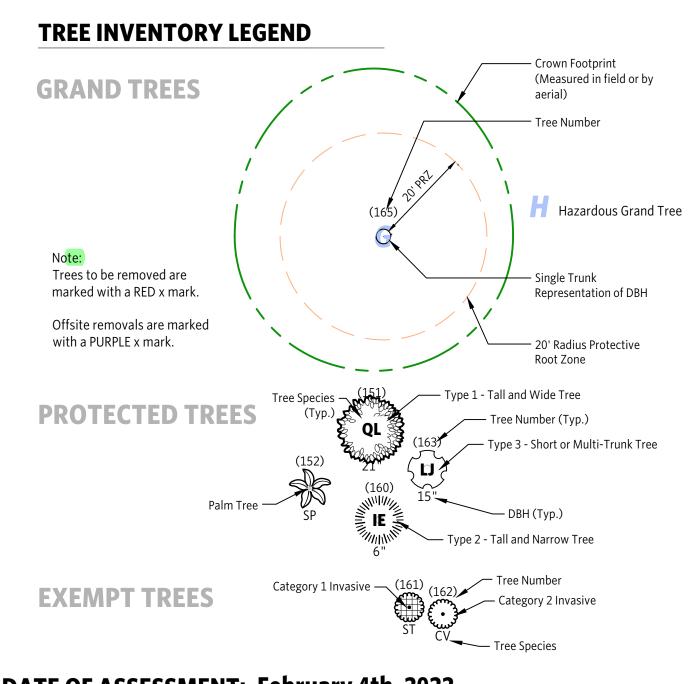
R: The separator should be a physical raised separator (hardscape), concrete or paver. In areas where a three-foot separator cannot be maintained, due to the minimal length, such as spacing between two driveways would not allow for a separator of significant length, other pin down separators and delineators may be considered in that span.

All parts of the RFQ & RFP not in conflict with this Addendum shall remain in full force and effect.

Questions are to be e-mailed to ContractAdministration@tampagov.net.

Jim Greiner, P.E., Contract Management Supervisor

Jim Greiner



DATE OF ASSESSMENT: February 4th, 2022.

INVENTORY ASSIGNMENT NOTES

The objectives of the assignment were limited to the following components:

- 1. to conduct a tree inventory to identify all the on-site trees,
- 2. to identify any grand trees as defined by City of Tampa LDC Sec. 27-43, Definitions, 3. to rectify any tree identification errors shown on the survey, if applicable,
- 4. to establish natural resource permitting requirements associated with the inventory

A field investigation was conducted on the date of assessment. Each investigation was limited to the visual inspection of the on-site trees, their surrounding context, and a review of a tree survey prepared by a third-party surveyor. An arborist trainee assisted me in collecting tree dimensional data.

Tree survey data was imported to a data collection field tablet. The tablet was used to collect observations and photographs as needed. No physical notes were taken. If individual trees not captured on the survey were found, they were added to the digital record by generally located each tree using a Dual XGPS160 SkyPro GPS unit combined with aerial photograph interpretation.

Upon arrival to the site, I employed the following field review techniques to gather data:

- Trunk diameter at breast height (dbh) or 54 inches above the ground, taken with a diameter tape. For trees with more than one trunk (stem) originating at or near ground level (less than 36" high), the dbh of each stem was measured at 54" and the cross-sectional area of each stem was summed to derive a equivalent single trunk representative dbh.
- Photographs, taken with a field tablet or a Canon EOS 6D Mark II camera.

When advanced assessment was applicable, the following simple tools and review techniques were used:

- Crown spread measurement, taken with a mechanical wheel from the centroid of the trunk. When ground conditions or thick vegetation precluded use of the wheel, a tape measure or recent aerial photograph was used to measure spread.
- Height to base of limb, taken with a 35-foot Tel-O-Pole II measuring stick, when applicable.
- Tree height, taken with a laser hypsometer using three averaged points from one position. When the crown restricted measurement, an average height of 45 was used for tree point calculations. • Approximation of extent of decay by sounding, listening for tones that may indicate certain conditions, taken with a
- soft-face mallet.

• Approximation of extent of decay by probing, taken with a 48" steel soil probe. When overgrowth or obstructions restricted the collection of measurements, the applicable data element was omitted or

approximated. No soil, water, or tissue tests were conducted unless otherwise noted. Assessments were a one-sided ground-based and generally followed ANSI A300 (Part 9)-2017 guidance. However, this assessment is not intended to be used as a tree risk assessment except as described in the City of Tampa Land Development Code Section 27-284.1.1 ("Matheny and Clark" hazard rating format for Grand Trees only). Within this permitting context, the time frame for the assessment was two

When typically single-trunked trees are fused at or near the ground, a pith test is performed to determine whether the tree grouping is separate trees or a single tree. The pith test is based on a technique discussed in the American Forests Champion Trees Measuring Guidelines Handbook (2019).

To tailor the inventory to jurisdictional requirements, data elements collected varied by tree classification:

- Grand Trees: species, dbh, condition rating, crown spread, and "Risk Evaluation" as described in the City of Tampa Land Development Code Section 27-284.1.1 (foreseeable targets may not be known at the time of assessment)
- •• Level 2: Basic Tree Risk Assessments were not performed unless specifically noted. • Protected and specimen trees (not palms): species, dbh, condition rating, and Level 1: Limited Visual Tree Risk Assessment
- (foreseeable targets may not be known at the time of assessment).
- Palms: species and overall condition rating. Invasive trees: species only.

ASSUMPTIONS AND LIMITING CONDITIONS

- Any legal description provided to the consultant is assumed to be correct. Any titles and ownerships to any property are assumed

 No one provided significant professional assistance to me, except as indicated within the assignment. to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
- 2. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
- the condition of those items at the time of inspection; and (2) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
- 4. Not all defects or conditions that predispose a tree or tree part to failure are detectable, nor are all failures predictable.
- This inventory is not intended to establish a risk rating for every inventoried tree or tree part, evaluate risk mitigation options or recommendations, provide recommendations for additional assessments, determine residual risk following mitigation, or provide recommendations for monitoring or follow-up.

INVENTORY METRICS

GRAND TREES REMOVED?	RETENTION % REQUIRED	FAIR OR BETTER % PRESERVED
NO	50%	100 %
TOTAL ONSITE TREES	(Non-Res, Non-wooded) ONSITE JURIS DICTIONAL TREES	(127) / (127) MITIGATION TREES REQUIRED
139	133	0
JURIS DICTIONAL TREES BY CR	FAIR OR BETTER (A-B-C) TREES	(O trees/acre) POOR OR WORSE (D-F) TREES
TYPE 1, 2, & 3 TREES	53	5
PALMS	74	1
SUBTOTAL	127	6 not included in retention 70
A-B-C TREES BY SIZE CLASS	PRESERVED OR RELOCATED	REMOVED
NON-HAZARDOUS GRANDS	17	0
HAZARDOUS GRAND TREES	0	0
PROTECTED & SPECIMEN	110	0
SUBTOTAL	127	0

OFFSITE A-B-C-TREES REMOVED

MOST PREVALENT ONSITE SPECIES (% OF POPULATION)

included in mitigation, but not retention %

58% Sabal palmetto (75) 34% Quercus virginiana (44)

8% Quercus laurifolia (10)

CONDITION RATING COLOR KEY

Color representations of Condition Rating are provided as a visual aid. Preservation or removal suggestions are: 1) not recommendations, 2) apply only to onsite trees, and 3) are based on an opinion of preservation suitability near development. Circles are colored by the following convention:

Dark Green: Excellent (suitable for preservation)

For grand tree mitigation, the condition ratings are converted to percentages based on the TABLE 284.4.1-A: TREE RETENTION-MITIGATION **EQUIVALENCY TABLES BY TREE TYPE, Footnote 3.**

• White: Fair (somewhat suitable for preservation)

• Light Green: Good (suitable for preservation)

consequence of failure is "negligible" or "minor") Brown: Very Poor (removal is likely warranted unless the

consequence of failure is "negligible")

• Light Tan: Poor (removal may be warranted unless the

• Lavender: Category 1 Invasive (removal is usually required per AHJ) or Category 2 Invasive (consider removing)

CERTIFICATION OF PERFORMANCE

I, Richard Peterika, certify that:

- I have personally inspected the trees and the property referred to in this inventory and have stated my findings accurately. The extent of the inventory is stated in the Inventory Assignment Notes.
- have no personal interest or bias with respect to the parties involved. • The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures

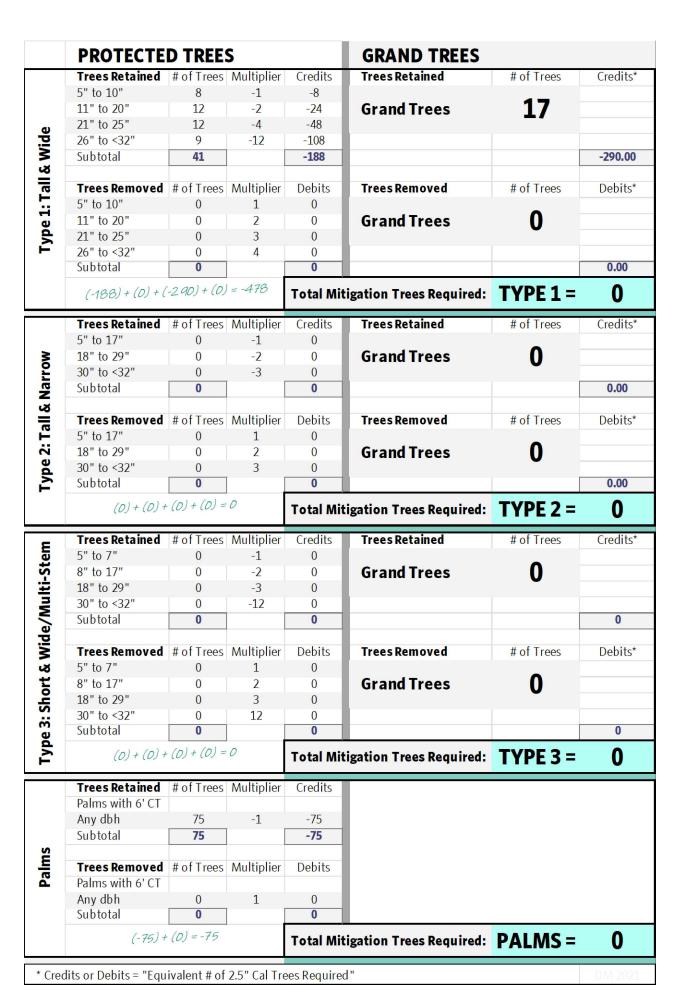
I have no current or prospective interest in the vegetation or the property that is the subject of this inventory and

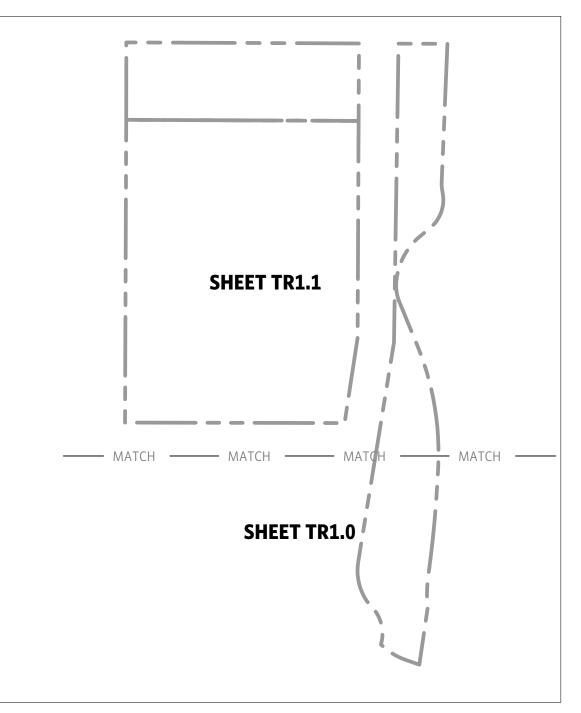
- My analysis, opinions, and conclusions were developed and this inventory has been prepared according to
- commonly accepted arboricultural practices.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am a member in good standing of the American Society of Consulting Arborists and the International Society of Arboriculture. I am licensed by the Florida Department of Business and Professional Regulation Unless expressed otherwise: (1) information contained in this inventory covers only those items that were examined and reflects as a Landscape Architect. I have been involved in the fields of Landscape Architecture and Arboriculture in a full-time

February 9, 2022

This document has been digitally signed and sealed by: RICHARD F. PETERIKA Printed copies of this document are not considered signed and sealed. The signature must be verified on the electronic documents Dark Moss LLC, 308 E 7th Ave Tampa, Florida 33602 Richard Peterika, ASLA, AICP, RCA #641, ISA-FL #5893B





KEY PLAN



ISSUE DATE: 2022-02-09 PERMIT ONLY

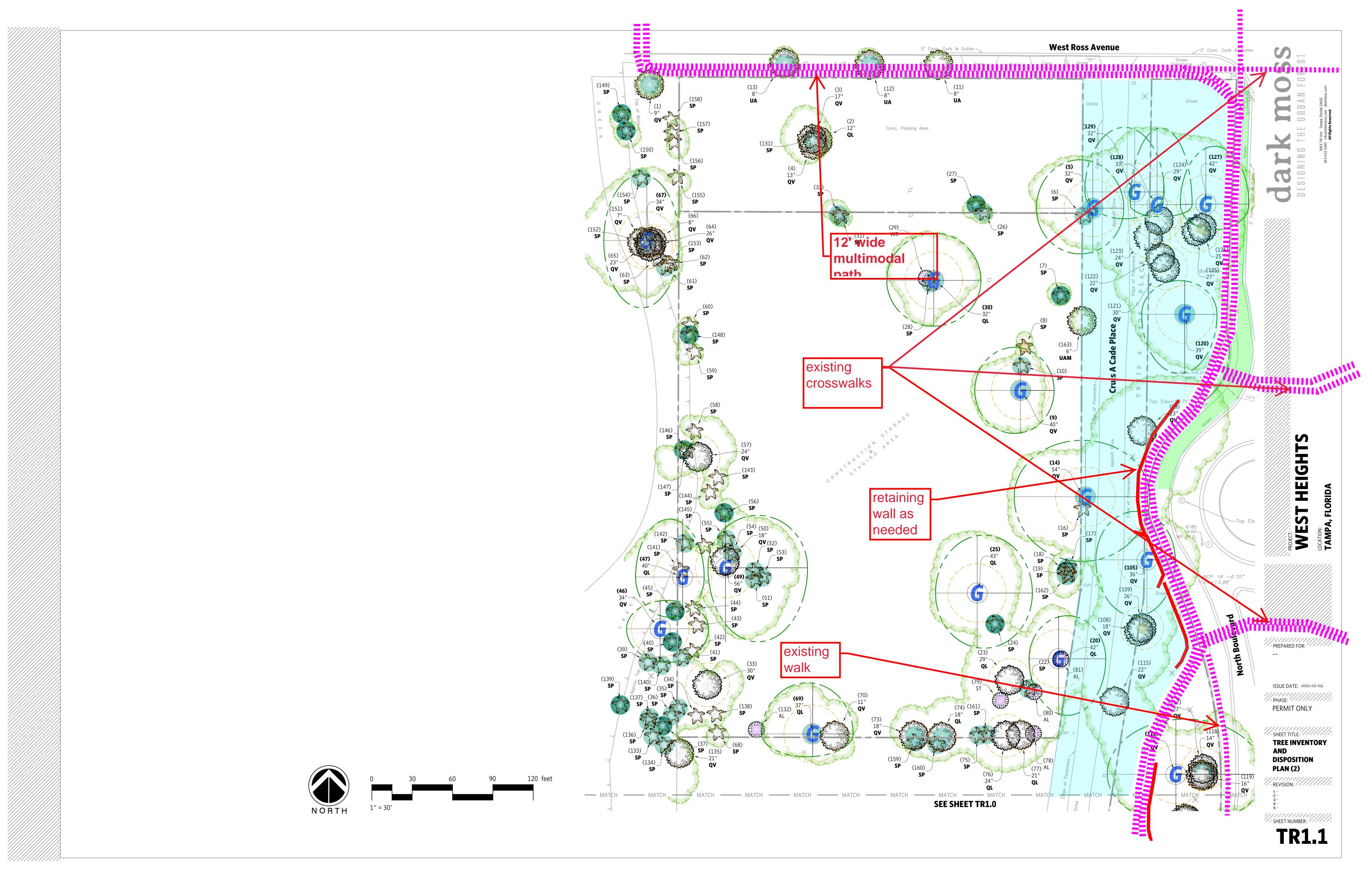
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TREE INVENTORY **DISPOSITION** PLAN



TREE DISPOSITION SUMMARY TABLE

			Common Name	Is Grand?	CR-HAZ		H-S-F=		Disposition
	QV QL	<u> </u>	Southern Live Oak Laurel Oak				(B-C-B) (B-C-C)		Preserved Preserved
			Southern Live Oak				(B-C-C)		Preserved
			Southern Live Oak				(B-C-C)		Preserved
5	QV	Quercus virginiana	Southern Live Oak	Grand	B-6	32	(B-C-A)	В	Preserved
	SP	· · · · · · · · · · · · · · · · · · ·	Cabbage Palm				()		Preserved
	SP SP		Cabbage Palm Cabbage Palm				()		Preserved Preserved
			Southern Live Oak	Grand	B-4		(B-C-B)		Preserved
	SP	-	Cabbage Palm	Grana	1		()		Preserved
	UA	Ulmus alata	Winged Elm				(C-C-C)		Preserved
			Winged Elm				(B-B-A)		Preserved
			Winged Elm	0 1	D =		(B-C-B)		Preserved
	QV XX	<u> </u>	Southern Live Oak Excluded or Reserved	Grand	B-5		(B-B-A) ()		Preserved Preserved
	SP		Cabbage Palm				()		Preserved
			Cabbage Palm				()		Preserved
	SP	Sabal palmetto	Cabbage Palm				()	Α	Preserved
	SP	•	Cabbage Palm				()		Preserved
	QL	<u> </u>	Laurel Oak	Grand	C-4		(B-C-C)		Preserved
	XX SP	· · ·	Excluded or Reserved Cabbage Palm				() ()		Preserved Preserved
			Laurel Oak				(B-C-B)		Preserved
	SP	-	Cabbage Palm				()		Preserved
		· · · · · · · · · · · · · · · · · · ·	Laurel Oak	Grand	C-6		(C-D-B)		Preserved
	SP	•	Cabbage Palm				()		Preserved
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	WR		Washington Palm				()		Preserved
	QL	•	Laurel Oak	Grand	B-5		(B-C-B)		Preserved
	SP SP	· · · · · · · · · · · · · · · · · · ·	Cabbage Palm Cabbage Palm				() ()		Preserved Preserved
	QV	•	Southern Live Oak				(B-C-D)		Preserved
	SP	<u> </u>	Cabbage Palm			30	()		Preserved
	SP	•	Cabbage Palm				()		Preserved
	SP	•	Cabbage Palm				()	В	Preserved
37	SP		Cabbage Palm				()	Α	Preserved
			Excluded or Reserved				()		Preserved
	SP	· · · · · · · · · · · · · · · · · · ·	Cabbage Palm				()		Preserved
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		<u> </u>	Cabbage Palm				()		Preserved
		· · · · · · · · · · · · · · · · · · ·	Southern Live Oak	Grand	C-4		(C-B-B)		Preserved
	QL		Laurel Oak	Grand	C-5		(C-C-D)		Preserved
48	XX		Excluded or Reserved				()		Preserved
		<u> </u>	Southern Live Oak	Grand	C-7		(C-C-C)		Preserved
		<u> </u>	Southern Live Oak			18	(C-C-C)		Preserved
	SP	•	Cabbage Palm				() ()		Preserved
	SP SP	•	Cabbage Palm Cabbage Palm				()		Preserved Preserved
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	SP	· · · · · · · · · · · · · · · · · · ·	Cabbage Palm				()		Preserved
	SP		Cabbage Palm				()		Preserved
	QV	•	Southern Live Oak			24	(B-C-C)	С	Preserved
	SP	· · · · · · · · · · · · · · · · · · ·	Cabbage Palm				()	С	Preserved
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			Southern Live Oak				(C-C-C)		Preserved
			Southern Live Oak				(C-C-C)		Preserved
			Southern Live Oak				(C-C-C)		Preserved
	QV		Southern Live Oak	Grand	C-5		(C-C-C)		Preserved
	SP		Cabbage Palm				()	С	Preserved
	QL	•	Laurel Oak	Grand	B-7		(B-B-A)		Preserved
		·	Southern Live Oak				(C-C-C)		Preserved
	XX		Excluded or Reserved Excluded or Reserved				() ()		Preserved Preserved
			Southern Live Oak				(B-B-B)		Preserved
			Laurel Oak				(B-B-B)		Preserved
	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
	QL	•	Laurel Oak				(C-C-C)		Preserved
		-	Laurel Oak				(B-C-C)		Preserved
	AL		Mimosa				()		Preserved
	ST AL		Brazilian Pepper Mimosa				() ()		Preserved Preserved
		•	Mimosa				()		Preserved
	XX		Excluded or Reserved				()		Preserved
	SP		Cabbage Palm				()		Preserved
	XX		Excluded or Reserved				()		Preserved
85	SP	Sabal palmetto	Cabbage Palm				()		Preserved
		•	Cabbage Palm				()		Preserved
		·	Southern Live Oak				(B-B-B)		Preserved
		-	Cabbage Palm				()		Preserved
	QV XX	<u> </u>	Southern Live Oak Excluded or Reserved			18	(B-C-D) ()		Preserved Preserved
		•	Southern Live Oak			12	(C-B-D)		Preserved Preserved
			Southern Live Oak				(C-B-B)		Preserved
	SP		Cabbage Palm				()		Preserved
		•	Southern Live Oak			9	(C-C-F)		Preserved
95	QV	Quercus virginiana	Southern Live Oak				(B-C-C)	С	Preserved
		•	Cabbage Palm				()		Preserved
	XX	` , .	Excluded or Reserved				()		Preserved
	XX	· • · · · · · · · · · · · · · · · · · ·	Excluded or Reserved			22	() (B-C-C)		Preserved Preserved
		· •	Southern Live Oak Excluded or Reserved			23	()		Preserved Preserved
	XX	*	Excluded or Reserved Excluded or Reserved				()		Preserved Preserved
	XX		Excluded of Reserved				()		Preserved Preserved
	XX		Excluded or Reserved				()		Preserved
	XX		Excluded or Reserved				()		Preserved
	QV	•	Southern Live Oak	Grand	C-6		(C-B-C)		Preserved
		-							

404			5 5						
106	XX	(n/a)	Excluded or Reserved				()		Preserved
107	XX	(n/a)	Excluded or Reserved				()		Preserved
108	QV	Quercus virginiana	Southern Live Oak			18	(B-B-C)	С	Preserved
109	QV	Quercus virginiana	Southern Live Oak			26	(D-C-C)	D	Preserved
110	XX	(n/a)	Excluded or Reserved				()		Preserved
111	XX	(n/a)	Excluded or Reserved				()		Preserved
112	XX	(n/a)	Excluded or Reserved				()		Preserved
113	XX	(n/a)	Excluded or Reserved				()		Preserved
114	XX	(n/a)	Excluded or Reserved				()		Preserved
115	QV	Quercus virginiana	Southern Live Oak			22	(B-C-C)	C	Preserved
116	QV	Quercus virginiana	Southern Live Oak	Grand	C-5	46	(B-B-D)	C	Preserved
117	QV	Quercus virginiana	Southern Live Oak			27	(B-B-B)	В	Preserved
118	QV	Quercus virginiana	Southern Live Oak			14	(B-C-D)	С	Preserved
119	QV	Quercus virginiana	Southern Live Oak			16	(B-C-C)	С	Preserved
120	QV	Quercus virginiana	Southern Live Oak	Grand	B-4	39	(B-C-B)	В	Preserved
121	QV	Quercus virginiana	Southern Live Oak			30	(B-B-C)	С	Preserved
122	QV	Quercus virginiana	Southern Live Oak			22	(C-C-C)	С	Preserved
123	QV	Quercus virginiana	Southern Live Oak			24	(C-B-C)	С	Preserved
124	QV	Quercus virginiana	Southern Live Oak			29	(C-C-C)	C	Preserved
125	QV	Quercus virginiana	Southern Live Oak			27	(C-C-C)	C	Preserved
126	QV	Quercus virginiana	Southern Live Oak			25	(D-C-F)	D	Preserved
127	QV	Quercus virginiana	Southern Live Oak	Grand	C-5	42	(C-C-C)	C	Preserved
128	QV	Quercus virginiana	Southern Live Oak	Grand	C-4	33	(B-C-C)	C	Preserved
129	QV	Quercus virginiana	Southern Live Oak	Grand	C-4	32	(C-B-C)	C	Preserved
130	XX	(n/a)	Excluded or Reserved	Granu	C-4	32	()		Preserved
131	SP						()	D	Preserved
	AL	Sabal palmetto	Cabbage Palm				()	B Y	
132	SP	Albizia julibrissin	Mimosa Cabbaga Balm						Preserved
133		Sabal palmetto	Cabbage Palm				()	В	Preserved
134	SP	Sabal palmetto	Cabbage Palm			21	()	В	Preserved
135	QV	Quercus virginiana	Southern Live Oak			21	(B-B-C)	С	Preserved
136	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
137	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
138	SP	Sabal palmetto	Cabbage Palm				()	C	Preserved
139	SP	Sabal palmetto	Cabbage Palm				()	A	Preserved
140	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
141	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
142	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
143	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
144	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
145	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
146	SP	Sabal palmetto	Cabbage Palm				()	Α	Preserved
147	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
148	SP	Sabal palmetto	Cabbage Palm				()	Α	Preserved
149	SP	Sabal palmetto	Cabbage Palm				()	Α	Preserved
150	SP	Sabal palmetto	Cabbage Palm				()	Α	Preserved
151	QV	Quercus virginiana	Southern Live Oak			7	(D-C-F)	F	Preserved
152	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
153	SP	Sabal palmetto	Cabbage Palm				()	C	Preserved
154	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
155	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
156	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
157	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
158	SP	Sabal palmetto	Cabbage Palm				()	С	Preserved
159	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
160	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
161	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
162	SP	Sabal palmetto	Cabbage Palm				()	В	Preserved
163	UAM	Ulmus americana	American Elm			6	(B-C-B)	C	Preserved
	5, 1111	J.IIIG GITICITICATIO	,ccan Limi			<u> </u>	(5 C 5)		. 1 0001 700

RATING NOTES:

1. DBH and Permit DBH:

with a municipal or jurisdictional ordinance. DBH is the arborist's field adjusted dbh determination, based on DBH measurement guidelines provided in the Guide for Plant Appraisal, 10th Edition (2018). Permit DBH is a translation of the field adjusted dbh to a value relevant to applicable permitting requirements. Typically, multi-stem trees are resolved into single-stem equivalents using trunk formula method. The Permit DBH for small multi-stem species may be visually estimated.

"Health, Structure, and Form" to Condition Rating: A composite, weighted assessment of health, structure, and form. Adapted from the Guide for Plant Appraisal, 10th Edition, second printing (2019)("10th Edition"). Values range from: A-Excellent, B-Good, C-Fair, D-Poor,

2.1. "Y" is used when no value is applicable.

between different surveyors. The initial inventory data involves data transformation to isolate tree data and prepare it for field data collector import. Occasionally extra data points are imported. During the assessment, these points are field verified and either assessed or excluded. The excluded values are preserved in the table to provide consecutive numbering. Reasons to exclude a data point include:

- or irrigation valve;
- 3.2. a surveyed tree that did not exist at the time of
- 3.3. a tree part, such as a canopy extent measurement;
- 3.4. a tree that is not recognized or protected in the
- 3.5. or by the arborist's professional opinion.

Tree disposition is the decision to retain or remove the tree based on a the arborist's evaluation of the cumulative impact of the proposed construction activity. This decision is based on the tree protection provided, general knowledge of the species, information on the tree's age and condition, and other relevant factors that may be applicable.

GRAND TREE SUMMARY TABLE:

Num	Disposition	Symbol	Botanical Name	DBH	Hazard	CR-HAZ	N-S	E-W	CS	CF	SR	Dimunition	RCF	Credits	Debits
5	Preserved	QV	Quercus virginiana	32	non	B-6	70	65	67.5	3578.5	0.9	0.9	2898.6	-18.7	0.0
9	Preserved	QV	Quercus virginiana	40	non	B-4	64	59	61.5	2970.6	0.9	0.9	2406.2	-15.5	0.0
14	Preserved	QV	Quercus virginiana	54	non	B-5	90	101	95.5	7163.0	0.9	0.9	5802.0	-37.4	0.0
20	Preserved	QL	Quercus laurifolia	42	non	C-4	74	57	65.5	3369.6	0.7	0.8	1769.0	-11.4	0.0
25	Preserved	QL	Quercus laurifolia	43	non	C-6	84	72	78.0	4778.4	0.7	0.8	2508.7	-16.2	0.0
30	Preserved	QL	Quercus laurifolia	32	non	B-5	69	70	69.5	3793.7	0.7	0.9	2390.0	-15.4	0.0
46	Preserved	QV	Quercus virginiana	34	non	C-4	46	61	53.5	2248.0	0.9	0.8	1517.4	-9.8	0.0
47	Preserved	QL	Quercus laurifolia	40	non	C-5	73	51	62.0	3019.1	0.7	0.8	1585.0	-10.2	0.0
49	Preserved	QV	Quercus virginiana	56	non	C-7	94	74	84.0	5541.8	0.9	0.8	3740.7	-24.1	0.0
67	Preserved	QV	Quercus virginiana	34	non	C-5	99	56	77.5	4717.3	0.9	0.8	3184.2	-20.5	0.0
69	Preserved	QL	Quercus laurifolia	37	non	B-7	55	68	61.5	2970.6	0.7	0.9	1871.5	-12.1	0.0
105	Preserved	QV	Quercus virginiana	36	non	C-6	78	59	68.5	3685.3	0.9	0.8	2487.6	-16.0	0.0
116	Preserved	QV	Quercus virginiana	46	non	C-5	79	116	97.5	7466.2	0.9	0.8	5039.7	-32.5	0.0
120	Preserved	QV	Quercus virginiana	39	non	B-4	69	56	62.5	3068.0	0.9	0.9	2485.1	-16.0	0.0
127	Preserved	QV	Quercus virginiana	42	non	C-5	62	51	56.5	2507.2	0.9	0.8	1692.4	-10.9	0.0
128	Preserved	QV	Quercus virginiana	33	non	C-4	66	46	56.0	2463.0	0.9	0.8	1662.5	-10.7	0.0
129	Preserved	QV	Quercus virginiana	32	non	C-4	68	59	63.5	3166.9	0.9	0.8	2137.7	-13.8	0.0

The species or structure of a tree can be incompatible

2. H-S-F = CR

F-Very Poor or Dead.

3. Excluded or Reserved

Tree survey data quality and utility can vary widely

- 3.1. another type of survey point, such as a ground shot
- assessment;
- jurisdiction due to size;

4. Disposition

Ħ HEIG **WEST**

PREPARED FOR:

ISSUE DATE: 2022-02-09 PERMIT ONLY

TREE TABLES

TR1.2

2/17/2023 11:00 AM

RIDGEWOOD PARK

PLAT BOOK 10, PAGE 6

BLOCK D

50.43' (M)

East 50' (D)(S)

\$ 89°45'34" E 5.31' (PD)~

LOT 5

POINT OF COMMENCEMENT

SOUTHWEST CORNER OF LOT 5

PARCEL 1A

EXISTING

10' proposed

POINT OF BEGINNING

S 89°45'34" E 73.50' (PD)

Radius = 50.00' (PD) Delta = 92°09'50" (PD)

Bearing = S 43°40'38" E (M)

- Arc = 80.43' (PD)

Radius = 30.00' (PD) Delta = 26°22'21" (PD) Chord = 13.69' (M) [/] Bearing = S 10°46'54" E (M)

Existing North right of

WEST ROSS

AVENUE

R/W NOT DETERMINED

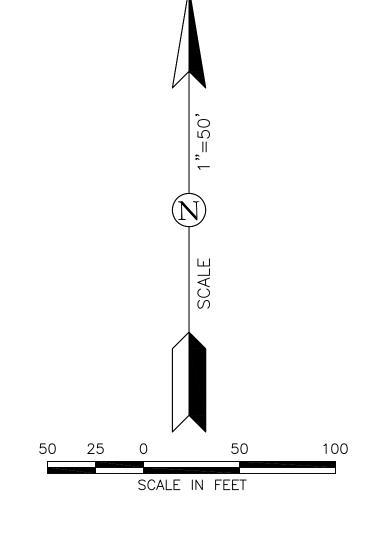
ASPHALT PAVEMENT

Southerly right of way

EXISTING R/W

way line of Ross Avenue

Section 14 - Township 29 South - Range 18 East Hillsborough County, Florida



Notes

- 1. Bearings shown hereon as (M) are based on the Florida State Plane Coordinate System, Transverse Mercator, West Zone NAD 83/90 a bearing of N 00°21'12" E, was held on the Monumented Westerly right of way line of Cruis A Cade Place as depicted.
- 2. C.O.T. and certifying land surveyor make no representations or guarantees pertaining to easements, rights of way, setback lines, reservations, agreements and other similar matters.
- 3. All matters of record depicted hereon were within C.O.T. survey section
- 4. C.O.T. and/or certifying land surveyor has not made a search of the Public Records for any titles, deeds, reservations, easements, rights of way, setback lines, agreements or other instruments that may be recorded therein.
- 5. Survey based on monumentation found acceptable.
- 6. Neither interior fences, structures, nor improvements, either above or below ground, have been located as part of this survey, except as
- 7. This survey consists of two (2) sheets, each incomplete without the

Legend

- Measured
- Calculated
- Description
- (PD) Proposed description
- (S) City of Tampa Public Works Department survey, E-2F-112, dated 5/24/1964
- CIR Capped iron rod
- Iron pipe
- Pinched iron pip IR
- CM Concrete monument
- FND R/W Right-of-way
- Official Records book, Public Records of Hillsborough County
- EOL North of line
- NOL SOL South of line
- WOL West of line
- Point of curvature Point of tangency
- PRC Point of reverse curve
- POC Point on curve
- ID Identification
- COT City of Tampa
- Found monumented as shown Set 5/8" iron rod and cap "City of Tampa T. & S.S."
- Set MAG nail & disk "City of Tampa T. & S.S. Survey"

PRELIMINARY

REVISIONS		SURVEYOR'S CERTIFICATE		SKETCH OF DESCRIPTION	
DESCRIPTION	DATE		CITY OF TAMPA, FLORIDA	SECTION 14, TOWNSHIP 29 S. RANGE 18 E.	1
1		UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER	MOBILITY DEPARTMENT	HILLSBOROUGH COUNTY, FLORIDA	
2		5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.	SURVEY SECTION	DATE OF LAST FIELD WORK: N/A	7
3			3808 EAST 26TH AVENUE	DRAWN BY: SURVEY SECTION DRAFTING - KJ	
4		CLARENCE WADE, III	TAMPA, FLORIDA	FIELD BOOK: N/A	
5		FLORIDA PROFESSIONAL LAND SURVEYOR, CERTIFICATE NO. 4383	(813) 635-3430	DRAWING FILE: North Blvd Bridge_Parcels 1A_1B.dwg	
		UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.	` ,	SHEET NO. 1 OF 2	

RIDGEWOOD PARK

PLAT BOOK 10, PAGE 6

BLOCK D

50.43' (M) East 50' (D)(S)

N 00°24'08" E South 383.7

LOT 5

POINT OF COMMENCEMENT

PARCEL 1A (See Sheet 1)

EXISTING

10' proposed

transportation

0

SOUTHWEST CORNER OF LOT 5

Existing North right of

WEST ROSS

AVENUE R/W NOT DETERMINED ASPHALT PAVEMENT

> Southerly right of way line of Ross Avenue

> > EXISTING R/W-

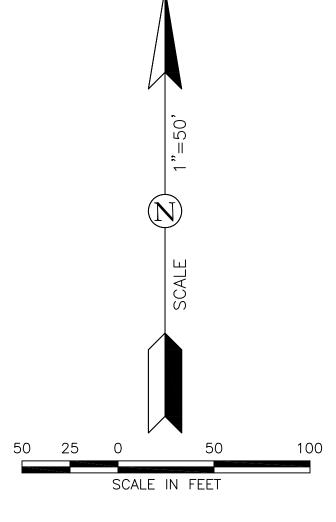
A D E

10:57

5

way line of Ross Avenue

Section 14 - Township 29 South - Range 18 East Hillsborough County, Florida



Notes

- 1. Bearings shown hereon as (M) are based on the Florida State Plane Coordinate System, Transverse Mercator, West Zone NAD 83/90 a bearing of N 00°21'12" E, was held on the Monumented Westerly right of way line of Cruis A Cade Place as depicted.
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- All matters of record depicted hereon were within C.O.T. survey section
- 4. C.O.T. and/or certifying land surveyor has not made a search of the Public Records for any titles, deeds, reservations, easements, rights of way, setback lines, agreements or other instruments that may be recorded therein.
- Survey based on monumentation found acceptable.
- Neither interior fences, structures, nor improvements, either above or below ground, have been located as part of this survey, except as
- 7. This survey consists of two (2) sheets, each incomplete without the

Legend

- Measured (C) Calculated
- (D) Description Proposed description
- (PD) (P)
- (S) City of Tampa Public Works Department survey, E-2F-112, dated 5/24/1964
- IΡ Iron pipe PIP Pinched iron pip
- IR Iron rod
- CM Concrete monument **FND** Found
- Right-of-way
- Official Records book, Public Records of Hillsborough County OR
- **EOL** East of line
- NOL North of line
- SOL South of line
- WOL West of line PC Point of curvature
- PΤ Point of tangency Point of reverse curve
- POC Point on curve
- Identification
- COT City of Tampa
- Found monumented as shown
- 0 Set 5/8" iron rod and cap "City of Tampa T. & S.S."
- Set MAG nail & disk "City of Tampa T. & S.S. Survey"

PRELIMINARY

OUTVETORG DERTH TOXTE	
THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DEPICTED HEREON WAS MADE UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.	CI'
STATUTES.	38
CLARENCE WADE. III	
FLORIDA PROFESSIONAL LAND SURVEYOR, CERTIFICATE NO. 4383	

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

POC

CITY OF TAMPA, FLORIDA MOBILITY DEPARTMENT SURVEY SECTION 8808 EAST 26TH AVENUE TAMPA, FLORIDA (813) 635-3430

SKETCH OF DESCRIPTION SECTION 14, TOWNSHIP 29 S. RANGE 18 E. HILLSBOROUGH COUNTY, FLORIDA DATE OF LAST FIELD WORK: N/A DRAWN BY: SURVEY SECTION DRAFTING - KJ FIELD BOOK: N/A DRAWING FILE: North Blvd Bridge_Parcels 1A_1B.dwg SHEET NO. 2 OF 2